

Real estate holds strong through ski season

On April 7, the 2003 ski season closed with the total dollar volume of real estate contracts rising **43%** compared to the end of the 2002 ski season, according to the Telluride Association of Realtors Multiple Listing Service. Also, 2003 is up **17%** from 2000, which was Telluride's record year.

From January 1, 2003 thru April 7, 2003, **\$121,469,850** of real estate went under contract, a gross increase of **\$36,614,167** from the same time period in 2002 and a gross increase of **\$17,221,756** from the record high in 2000.

Year	Type	Total Dollar Volume
2000	All	\$104,248,094
2002	All	\$84,855,683
2003	All	\$121,469,850

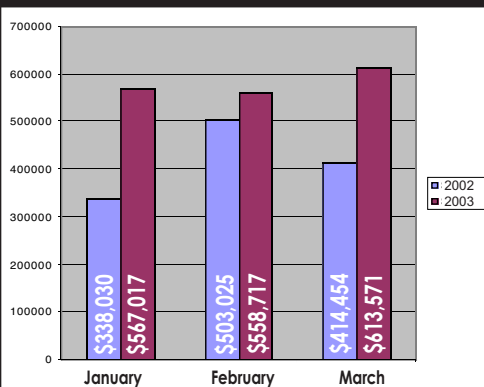
Land saw the largest increase in total dollar volume with a **123% increase**, while residential homes were not far behind with a **67% increase**.

Year	Type	Total Dollar Volume
2002	Land	\$21,264,100
2003	Land	\$47,464,800
2002	Residential	\$20,509,473
2003	Residential	\$34,289,300

The average price of a real estate transaction contracted **increased 43%**.

Year	Type	Average Price
2002	All	\$398,383
2003	All	\$570,280

Average Price of a Real Estate Transaction



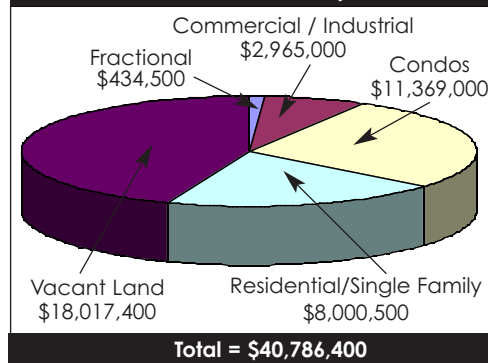
While real estate closings for Jan. 1, 2003 thru April 7, 2003 were only up .04% from the previous year, 40% of the properties contracted in 2003 were contracted in March and many have not yet closed. The average price of real estate sold is has increased from this time period last year, with the average rising from \$398,308 in 2002 to **\$466,677** in 2003, a **17% increase**.

February details

The increase in real estate contracts in February was significant, with a **45% jump** in dollar volume to **\$40,786,400** from \$28,169,400 in 2002 to while the number of properties contracted rose to **73** from 56 in 2002.

The largest jump in dollar volume was seen in the land category which rose to **\$18,017,400** from \$4,935,400 in 2002, a whopping **265% increase**. Several multi-million dollar parcels in Mountain Village, as well as almost \$6 million worth of land on the mesas surrounding the Telluride region, was placed under contract. Log Hill Mesa in the Ridgway area was also a popular area this month with 10 parcels ranging in price from \$65,000 to \$190,000 placed under contract.

Gross Dollar Volume of Properties Contracted in February 2003



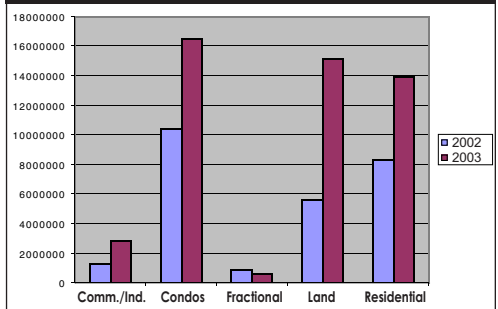
The largest increase in the number of properties contracted was in the residential single family category with **22** properties contracted, while there was only 7 contracted in February 2002. The dollar volume does not reflect this rise in numbers as 18 of the homes were contracted outside of the towns of Telluride and Mountain Village in the less expensive Norwood, Nulca and Ridgway areas. These homes ranged in price from \$29,900 to \$375,000.

The average price of condominiums rose to **\$1,033,545** from \$566,100 in 2002, an **82% increase**, however sales contracts decreased in numbers from 17 in 2002 to 11 in 2003.

March details

With almost **twice the dollar volume** of property under contract as at this time last year, March 2003 was a hot month for the Telluride region. The total dollar volume of contracts rose to **\$49,085,700** from \$26,589,100 in 2002, an

Gross Dollar Volume of Properties Contracted in March 2002 and March 2003 by Category



84% increase, while the total number of properties contracted rose to **80** from 64 in 2002.

The consistently growing land category once again took a leap in March more than **doubling** the number of contracts — **34** in 2003 compared to 16 in 2002 — and almost **tripling** the value of those contracts — **\$15,165,300** in 2003 from \$5,643,200 in 2002 — a **168% increase** in dollar volume. The average price of a transaction rose to **\$446,038** from \$352,700 in 2002. March 2003 saw nine residential lots — three in the Town of Telluride and six in Mountain Village — contracted in the \$1 to \$2 million range while March 2002 only saw two properties over \$700,000.

Commercial / industrial properties **more than doubled** in total dollar volume and the number of properties contracted, there were **5** properties totaling **\$2,871,750** in 2003 and only 2 properties totaling \$1,355,000 in 2002, a **111% increase**.

The average price of a condominium contracted **doubled**, rising to **\$868,202** in 2003 from \$433,891 in 2002. Condominiums **increased 58%** in total dollar volume — **\$16,495,850** in 2003 from \$10,413,400 in 2002 — while the number of sales actually decreased by five in 2003. To account for this change, in 2003 there were six condos at over \$1 million while in 2002 the most expensive condo contracted was \$995,000.

The average price of a residential single family property grew to **\$870,712** from \$486,617 in 2002. Largely responsible are a \$5,750,000 home in the Town of Telluride and a \$3,950,000 home in Mountain Village contracted in 2003, while 2002 did not see any homes over \$2 million contracted. While the number of residential single family properties contracted decreased by one in 2003, the total dollar volume increased to **\$13,931,400** from \$8,272,500 in 2002, a **68% increase**.

Norwood market sees significant changes

While Norwood has always been a haven for those seeking affordable living and a quieter lifestyle, the mesa-town is now seeing a strong second homeowner market as well. These more expensive homes, combined with the rise in Telluride-commuter populations has resulted in a 78% increase in the dollar volume of sales from the previous year.

In fact, March contracts in Norwood and the West End saw a 53% increase in total dollar volume and an 85% increase in the number of properties contracted.

Year	# of Properties	Dollar Volume
3/2002	7	\$975,500
3/2003	13	\$1,492,050

With the sale of a \$3 million dollar home on 495-acres near Gurley Lake in 2002, and the listing of a \$2.9 million dollar home on 75 acres, a \$2.2 million dollar home on 405 acres, and a \$2 million dollar home along the San Miguel River, Norwood has broken into the multi-million dollar market. In fact, a premier builder from the Aspen area recently closed on a property in the Gurley Lake area and plans to build a 12,000 sq. ft. spec house.

Second homeowners are particularly inter-



Ranch-style log homes such as this one are gaining popularity in the Norwood area.

ested in the Gurley Lake Ranch Development, located just seven miles south of Norwood, accessible by paved roads. The development surrounds the trout-rich 300-acre Gurley Reservoir. The total acreage of Phase 1 of the subdivision is 2,200 acres with 40 lots. To date, 39 lots have been sold or are under contract, with prices starting at \$104,900 for 8.5 to 30 acre parcels. The second phase of the subdivision called North Gurley Reserve consists of 16 lots on 750 acres while the third phase, consisting of 600 acres, recently closed in early April of 2003. The developer is planning an equestrian center in this phase and will offer irrigation via the Gurley Reservoir.

Plans for more high-end subdivisions could be in the works. There are 10 land parcels in the Norwood area currently on the market and clas-

sified as 70+ acres subdividable.

And for affordable housing buyers, there are 49 homes priced at under \$200,000 currently on the market in the Norwood / Nucla / Naturita area. The Homestead, located off Pine Street in downtown Norwood, is offering affordable lots and a second phase of homes priced from \$140,000 to \$185,000. These homes are located in a well-designed Victorian-style neighborhood and look similar to San Francisco row houses.

There are currently 174 pieces of property listed in Norwood and the West End, including Naturita and Nucla. There are 19 commercial/industrial listings ranging in price from \$75,000 to \$995,000; 76 parcels of land ranging in price from \$13,500 to \$1,450,000; and 76 residential single-family units ranging in price from \$25,000 to \$3,100,000.

Regional Airport Update

- Continental Airlines will run non-stop flights from Houston to Montrose from May 22, 2003 to Oct. 5, 2003 on a 50-seat Embraer jet.

- The Telluride Airport's Fall Colors Fly-In will take place September 27. It will include a pancake breakfast, mountain flying seminar as well as glider and airplane rides.

Telluride Airport
<www.tellurideairport.com>

Montrose Airport
<www.airport.co.montrose.co.us>

Summer Festival Schedule

May 23-26	MountainFilm	July 18-23	Nothing Festival
May 30 - June 1	Steps to Awareness	July 25-27	Rotary Club 4x4 Rally
June 6-8	Balloon Rally	July 31- Aug. 3.....	Jazz Celebration
June 12-15	Wild West Fest	Aug. 7-17	Chamber Music Fest
June 14-17	Ideas Festival	Aug. 8-10	Tech Fest
June 19-22	Bluegrass Festival	Aug. 22-25	Mushroom Festival
June 27-29	Wine Festival	Aug. 29-1	Film Festival
June 27-29	Celebration Arts Fair	Aug. 29-1	Telluride IndieFest
July 4	Firefighter's Fourth	Sept. 11-14	Blues & Brews Festival